

LANDSCAPE NOTES AND LEDGEND

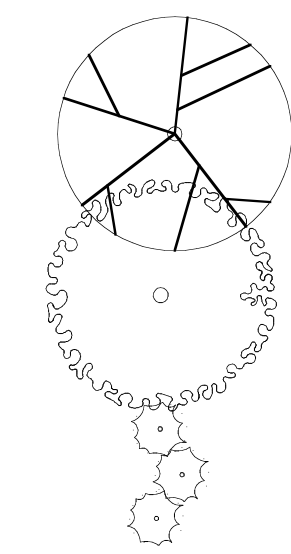
REMOVE EXISTING VEGETATION AND UNSUITABLE SOIL AT PLANTING BEDS.
 REPLACE WITH PLANTING SOIL AND GROUND COVER.
 (GROUND COVER JUNPER, 1-GAL. SIZE SPACED @ 48" O.C.).
 PROVIDE PERMANENT AUTOMATIC IRRIGATION TO ALL PLANTING BEDS.

APPROVED TREES, 2" MINIMUM CALIPER
 (2) REQUIRED, (5) PROPOSED

(3) FLOWERING PLUMS
 LOCATE AS SHOWN

(2) RED MAPLE
 SPECIES: 'AUTUMN BLAZE'
 LOCATE AS SHOWN

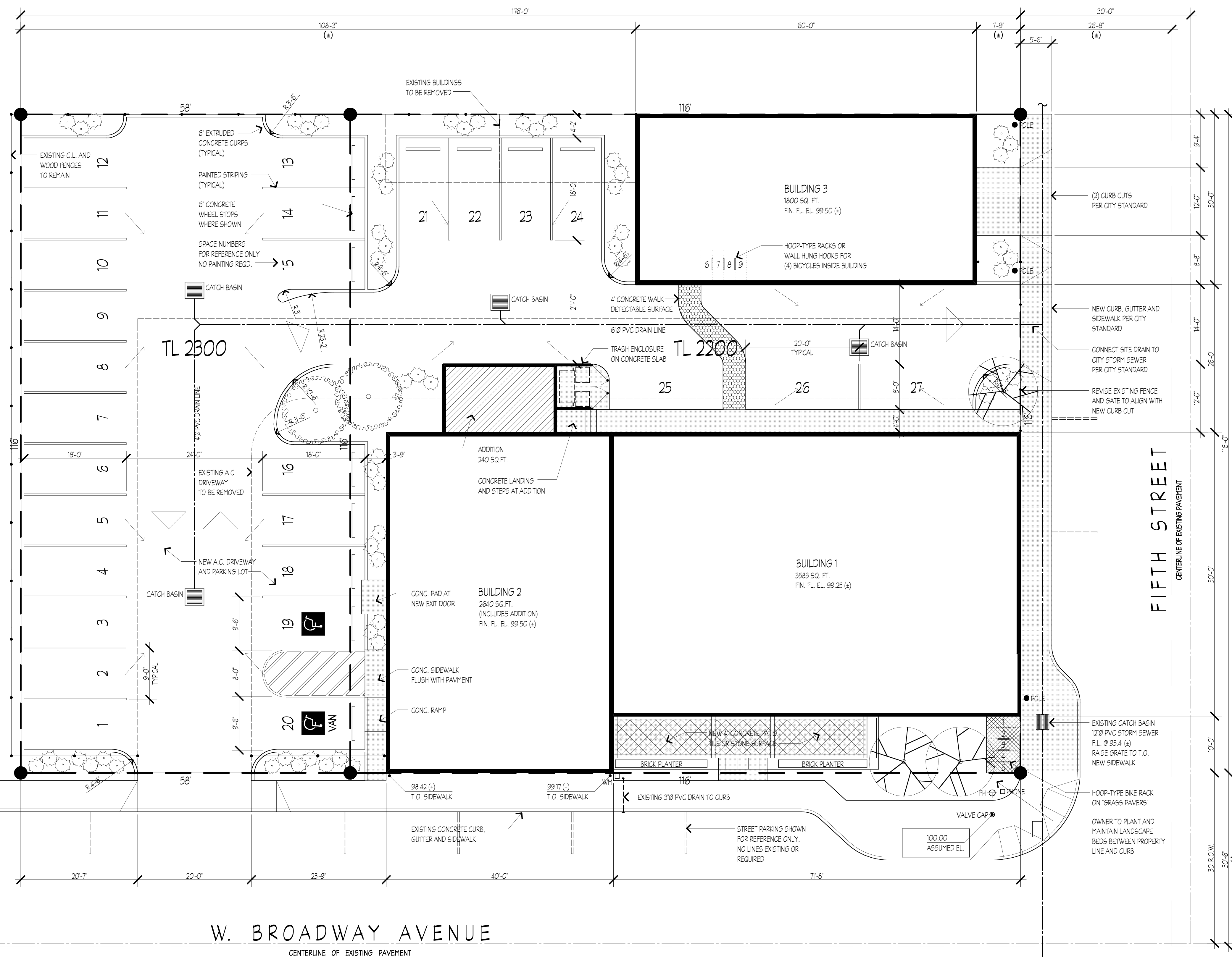
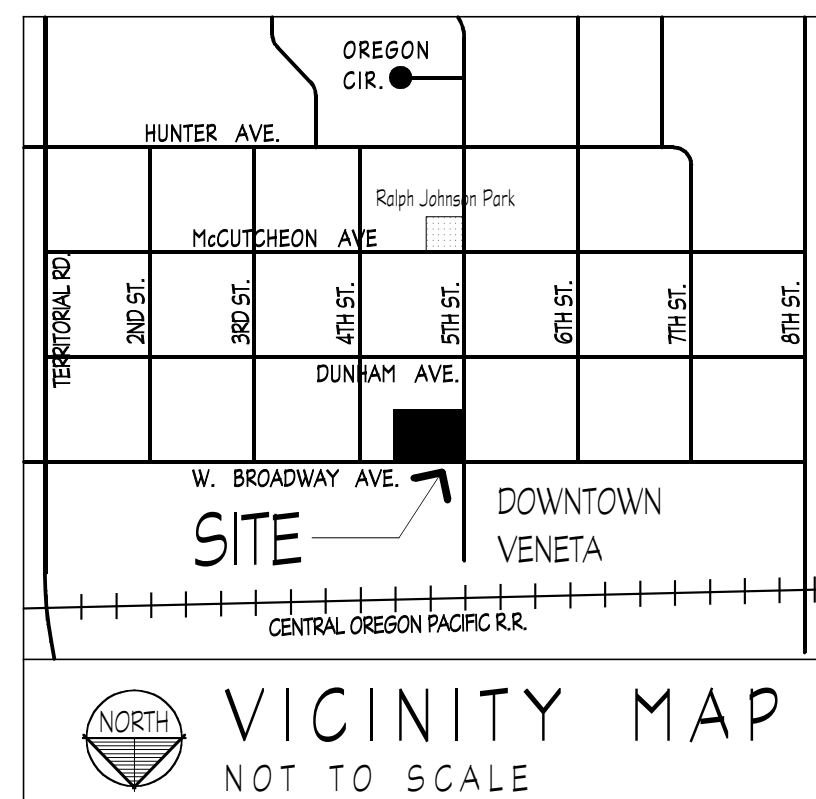
APPROVED SHRUBS, 5-GAL. SIZE
 (8) REQUIRED, (60) PROPOSED
 LOCATE AS SHOWN



ZONING, BUILDING AND PARKING NOTES

Zone: RC Residential-Commercial
 (Abutting properties are also zoned RC.)
 Total Ground Area: 20,416 sq. ft. (0.47 acre)
 Landscape and Hardscape Coverage: 2060 sq. ft. (10.1%)
 Occupancy Classifications: Assembly Group A3 (Theater), Business Group B (Retail)
 Type of Construction: V-B
 Basic Allowable Floor Area for A3 Occupancy: 6000 sq. ft. per OSBC Table 503
 Increase for frontage = 0.75
 Allowable Floor Area = 1.75 x 6000 = 10,500 sq. ft.
 Total Building Area:
 Buildings 1 and 2: 6223 sq. ft. (Includes Addition Area: 240 sq. ft.)
 Building 3: 1800 sq. ft.
 Total Onsite Paving and Sidewalk Area: 10,333 sq. ft.
 Vehicle Parking: 65 spaces calculated, 50 spaces probable maximum usage
 Vehicle Parking Provided Onsite: 27, Street Parking Requested: 23 spaces
 Handicap Accessible Parking @ 1 per 25 = 2 spaces required - 1 Van Accessible
 Bicycle Parking @ 1 per 7 Vehicle Spaces = 9 spaces required - 1 sheltered

Electric Heat
 Electric Air Conditioning



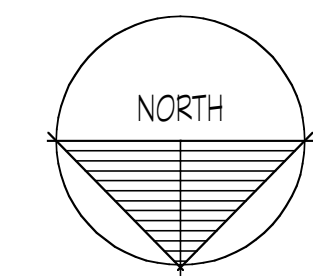
PROPOSED PROJECT PHASING

PHASE 1 - FIRST QUARTER 2009
 Interior Infill of Building 1, Lobby, Retail, Activity Area and Restrooms
 Interior Demolition and Infill of Building 3, Youth Activity Space.
 Occupancy of Buildings 1 and 3
 Off-Site Street Parking only for Patrons

PHASE 2 - THIRD QUARTER 2009
 Interior Demolition and Infill of Building 2, Stage, Office

PHASE 3 - SECOND QUARTER 2010
 Exterior Building Elements: Street Fasadades, Canopies, Windows and Doors
 Addition to Rear of Building 2, Backstage and Storage.
 Refinish Exterior of Buildings 1 and 2

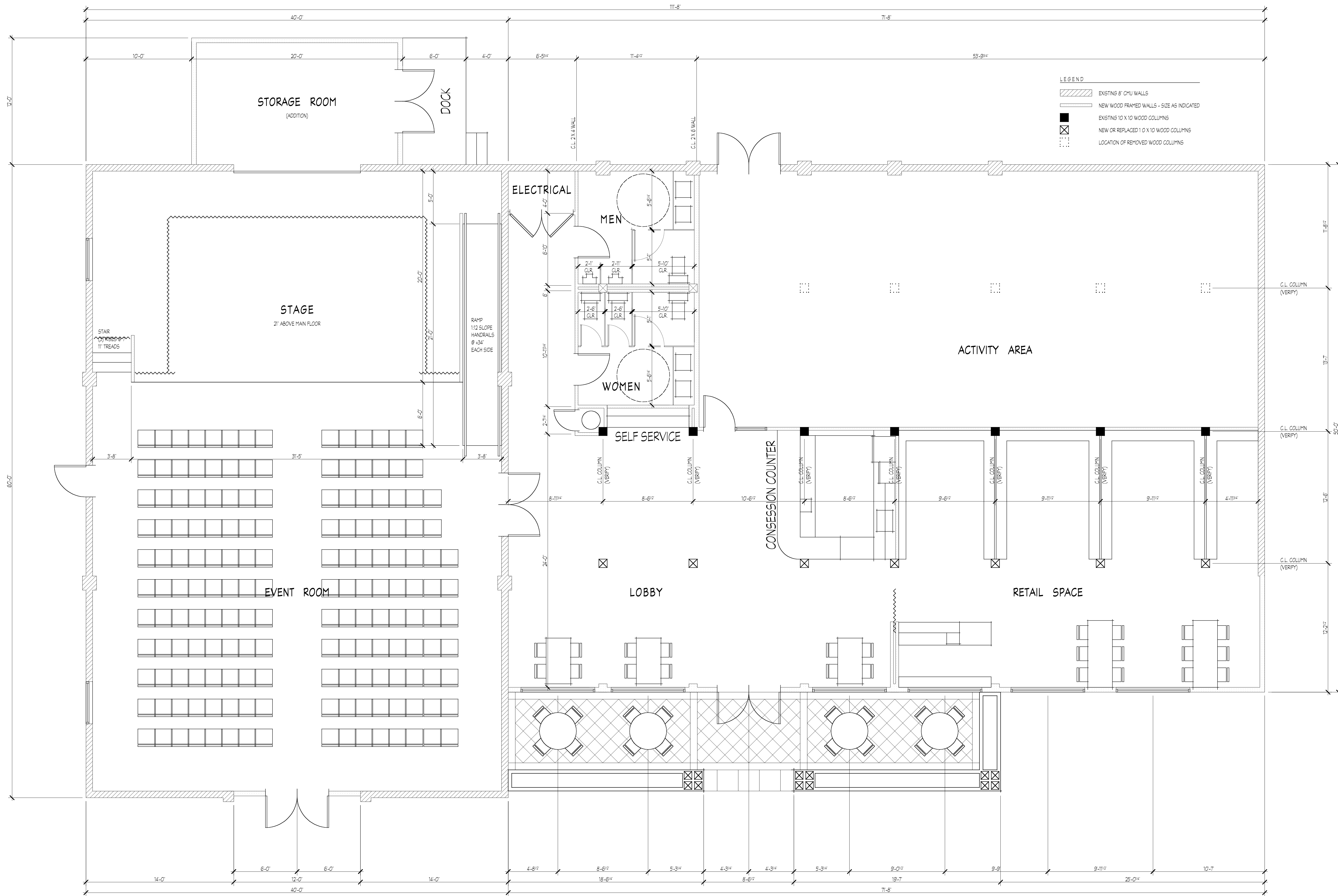
PHASE 4 - THIRD QUARTER 2010
 Site Improvements: Drainage System, Paving and Parking, Curb and Gutter,
 Sidewalks and Patio, Landscaping
 Occupancy of Building 2
 On-Site and Off-site Parking for Patrons



SITE PLAN
 1" = 10' SCALE

SEC. 36, T. 17 S., R. 6 W., W. M., TAX LOTS 2200 AND 2300
 VENETA, LANE COUNTY, OREGON

REVISION
DATE OCTOBER 17, 2008
REGISTERED PROFESSIONAL ENGINEER 11,454 OREGON FEB. 19, 1989 DARRELL L. CRYMAN EXPIRES 12/31/09
Cedar Creek DESIGN A New Tradition 87689 BLECK DRIVE, VENETA, OREGON 97487 PHONE 541-925-7119
PROJECT BROADWAY EVENTS CENTER for DEACON MATTHEWS
INDEX SITE PLAN
JOB NO 08-12
DRAWN BY DLC
SHEET NO 1



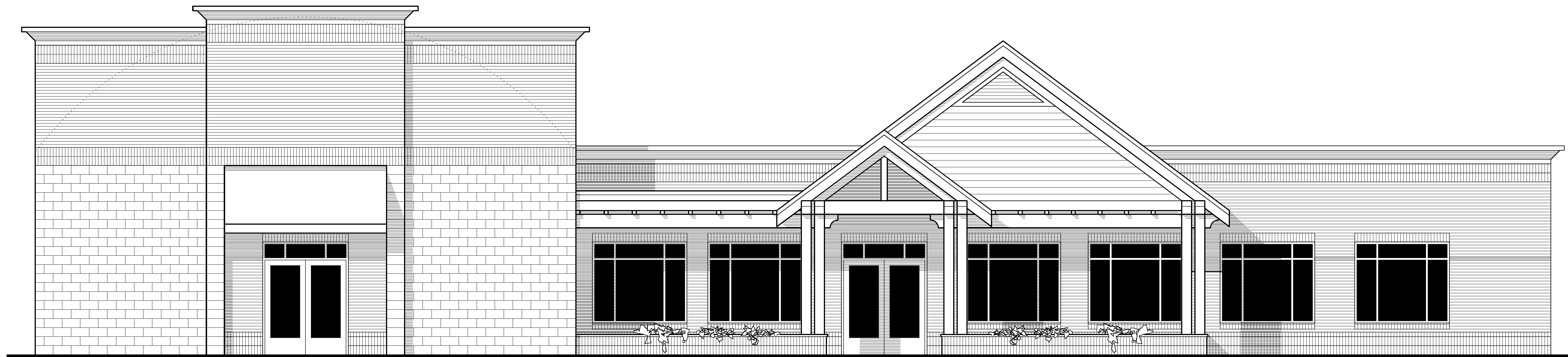
- LEGEND**
- EXISTING 8" CMU WALLS
 - NEW WOOD FRAMED WALLS - SIZE AS INDICATED
 - EXISTING 10 X 10 WOOD COLUMNS
 - NEW OR REPLACED 10 X 10 WOOD COLUMNS
 - LOCATION OF REMOVED WOOD COLUMNS

FLOOR PLAN
1/4" SCALE

REVISION
DATE OCTOBER 17, 2008
<p>Cedar Creek DESIGN A New Tradition</p> <p>87669 BLEK DRIVE, VENETA, OREGON 97147 PHONE 541-925-7119</p>
PROJECT BROADWAY EVENTS CENTER for DEACON MATTHEWS
VENETA, OREGON
INDEX SCHEMATIC FLOOR PLAN
JOB NO 08-12
DRAWN BY DLC
SHEET NO 2



NORTH ELEVATION (LAP SIDING)
1/4" SCALE

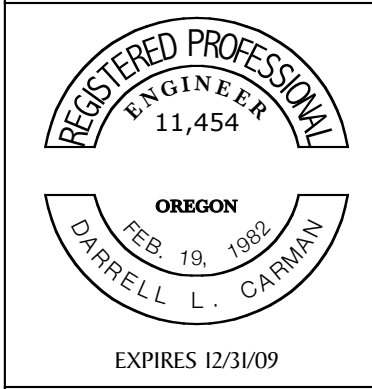


NORTH ELEVATION (BRICK)
1/4" SCALE

REVISION

DATE

OCTOBER 17, 2008



Cedar Creek
DESIGN
A New Tradition
87669 BLECK DRIVE, VENETA, OREGON 97147
PHONE 541-925-7119

PROJECT

BROADWAY
EVENTS CENTER

for

DEACON
MATTHEWS

VENETA, OREGON

INDEX

EXTERIOR
ELEVATIONS

JOB NO

08-12

DRAWN BY

DLC

SHEET NO

3